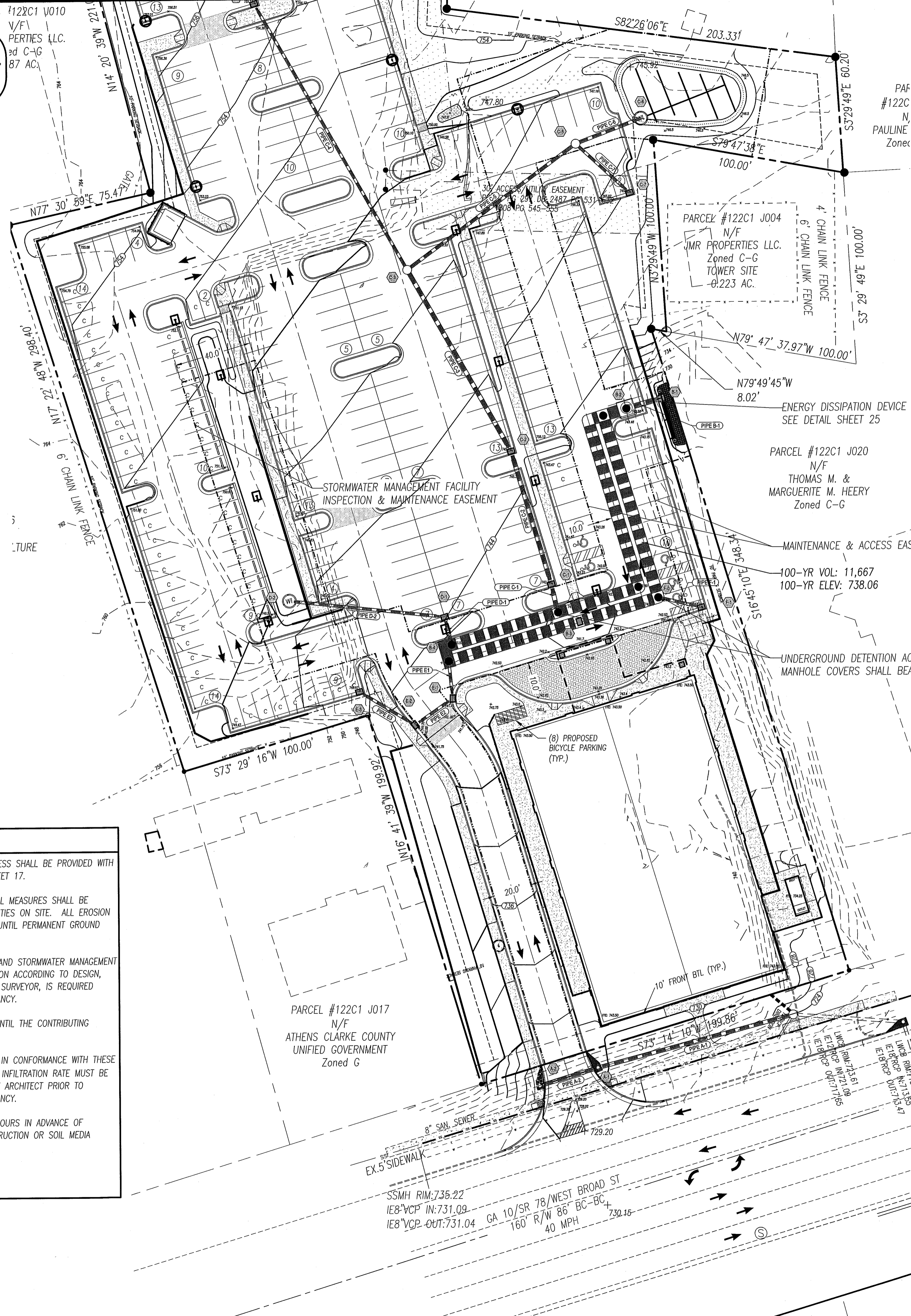


**BEFORE YOU DIG UTILITIES PROTECTION CENTER**  
**CALL 811**  
 KNOW WHATS BELOW  
 CALL BEFORE YOU DIG  
 THREE WORKING DAYS BEFORE YOU DIG

**LEGEND**

- TBR = TO BE REMOVED
- TBF = TO BE FILLED
- ZDL = ZONING DEMARCATION LINE
- TYP = TYPICAL
- EX = EXISTING
- PR = PROPOSED
- U.E. = UTILITY EASEMENT
- BSL = BUILDING SETBACK LINE
- PSL = PARKING SETBACK LINE
- SMH = SANITARY SEWER MANHOLE
- UP = UTILITY POLE
- PC = PROPERTY CORNER
- PRC = PR. PROPERTY CORNER
- FFE = FINISHED FLOOR ELEVATION
- FH = FIRE HYDRANT
- IPF = IRON PIN FOUND
- IPS = IRON PIN SET - 1/2" REBAR
- C = COMPACT PARKING SPACE
- OSSA = OPEN SOIL SURFACE AREA
- C/O = CLEAN OUT
- WM = WATER METER
- WV = WATER VALVE
- TP = TELEPHONE POLE
- PTP = POWER TELEPHONE POLE
- DI = DROP INLET
- DB = DEED BOOK
- PB = PLAT BOOK
- SSE = SANITARY SEWER EASEMENT
- SSMH = SANITARY SEWER MANHOLE
- TFED = UNDERGROUND TELEPHONE PEDESTAL
- TRANS = TRANSFORMER
- GI = GRATE INLET
- CMF = CONCRETE MONUMENT FOUND
- DE = DRAINAGE EASEMENT
- DIP = DUCTILE IRON PIPE
- FFE = FINISHED FLOOR ELEVATION
- F = FIBER OPTIC
- OTF = OPEN TOP PIPE
- = UNDERGROUND UTILITY
- - - = OVERHEAD UTILITY



**MISCELLANEOUS NOTES**

ALL STORMWATER STRUCTURES REQUIRING MANHOLE ACCESS SHALL BE PROVIDED WITH ACC STORMWATER MANHOLE COVERS PER DETAIL ON SHEET 17.

DETENTION FACILITIES AND EROSION & SEDIMENT CONTROL MEASURES SHALL BE ESTABLISHED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITIES ON SITE. ALL EROSION & SEDIMENT CONTROL FACILITIES SHALL BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

AN AS-BUILT SURVEY OF THE COMPLETE STORM SEWER AND STORMWATER MANAGEMENT SYSTEM, DEMONSTRATING IT WAS BUILT AND WILL FUNCTION ACCORDING TO DESIGN, AND CERTIFIED BY A PROFESSIONAL ENGINEER OR LAND SURVEYOR, IS REQUIRED PRIOR TO THE RELEASE OF ANY CERTIFICATE OF OCCUPANCY.

BIORETENTION FACILITY CONSTRUCTION MAY NOT BEGIN UNTIL THE CONTRIBUTING DRAINAGE AREA IS COMPLETELY STABILIZED.

BIORETENTION FACILITY PLANTING SOIL MUST BE PLACED IN CONFORMANCE WITH THESE PLANS. ITS COMPOSITION, SURFACE AREA, DEPTH, AND INFILTRATION RATE MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT PRIOR TO APPROVAL OF A FINAL PLAT OR CERTIFICATE OF OCCUPANCY.

THE PUBLIC WORKS INSPECTOR MUST BE NOTIFIED 24 HOURS IN ADVANCE OF BIORETENTION OR ENHANCED SWALE UNDERDRAIN CONSTRUCTION OR SOIL MEDIA PLACEMENT.

**GRADING NOTES:**

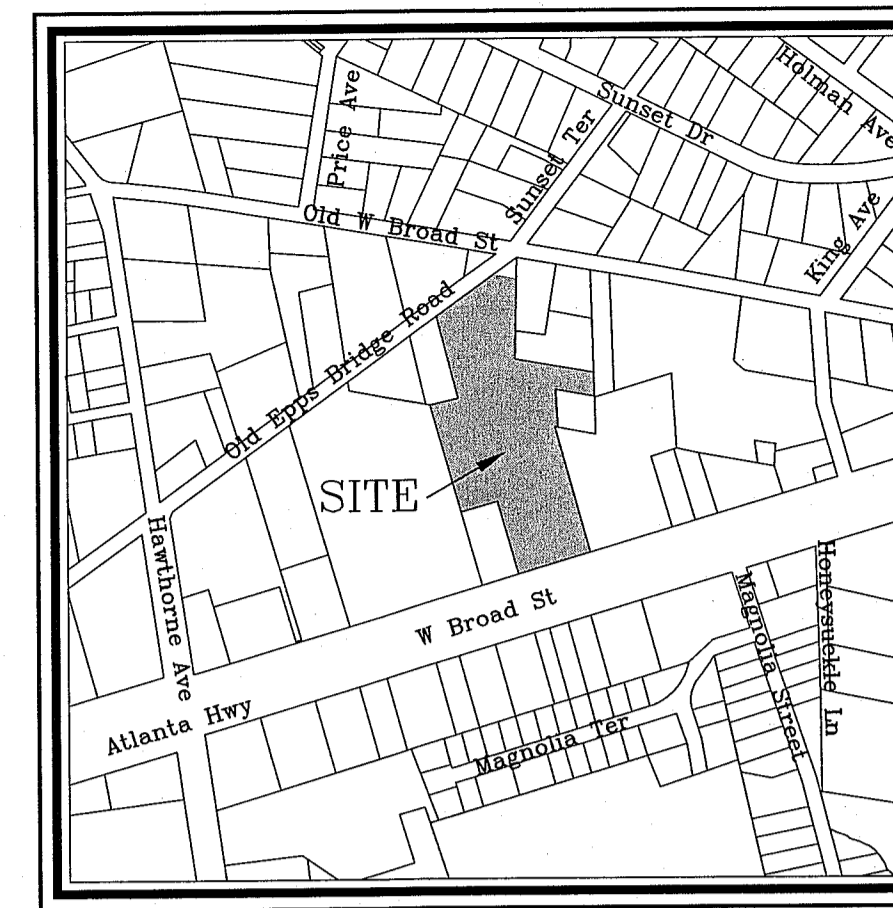
- THESE NOTES ARE FOR GRADING, AND DRAINAGE PURPOSES ONLY.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ALL EXISTING UTILITIES (ABOVE OR BELOW GROUND) AS SHOWN ON THESE PLANS ARE APPROXIMATE. WILLIAMS & ASSOCIATES DOES NOT GUARANTEE THAT THE EXISTING UTILITIES LOCATIONS SHOWN ARE EXACT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATIONS OF EXISTING UTILITIES (ABOVE OR BELOW GROUND) BEFORE BEGINNING ANY CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES AND THE UTILITIES PROTECTION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OF ANY UTILITY CONFLICTS WITH THE PROPOSED IMPROVEMENTS AS SHOWN ON PLANS. CONTRACTOR SHALL NOTIFY WILLIAMS & ASSOCIATES WITHIN 24 HOURS OF THE DISCOVERY OF UTILITY CONFLICTS. ANY DAMAGE TO SUCH UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- THE CONTRACTOR SHALL ADHERE TO:
  - ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
  - THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA
  - ALL "GOVERNING AGENCY" ORDINANCES AND DEVELOPMENT REQUIREMENTS AS DEFINED BY GOVERNING AGENCIES RULES AND REGULATIONS.
- SITE GRADING SHALL NOT PROCEED UNTIL TREE PROTECTION FENCING, EROSION CONTROL AND MONITORING EQUIPMENT HAS BEEN INSTALLED.
- SITE CLEARING AND GRADING SHALL NOT PROCEED UNTIL 14 DAYS AFTER AN NOI HAS BEEN FILED WITH THE APPROPRIATE NRCS FIELD OFFICE.
- GRADES SHOWN HEREON ARE FINISHED GRADES. ALL SPOT ELEVATIONS ARE AT FINISHED GRADE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE SUBROBERS.
- CONTRACTOR SHALL GRADE ALL SLOPES AS SHOWN ON PLANS BUT SHALL NOT EXCEED A MAXIMUM OF 3' HORIZONTAL TO 1' VERTICAL.
- ALL FILL MATERIAL IN THE PAVED AREAS TO BE COMPACTED TO 98% OF THE STANDARD PROCTOR DENSITY. ALL FILL MATERIAL IN THE PROPOSED BUILDING AREA AND UNDERNEATH ALL FOOTINGS IS TO BE COMPACTED TO 100% STANDARD PROCTOR DENSITY. UNDERCUTTING IS REQUIRED IN ALL AREAS WHERE MATERIALS ARE DETERMINED TO BE UNSUITABLE FOR STRUCTURAL BACKFILL MATERIAL.
- ALL DISCREPANCIES IN THE EXISTING OR PROPOSED GRADING PLAN SHOULD BE REPORTED TO WILLIAMS & ASSOCIATES IMMEDIATELY.
- TREES, STUMPS, ROOTS, DEBRIS, JUNK AND OTHERWISE DELETERIOUS MATERIAL MAY NOT BE BURIED OR DISPOSED OF ON SITE.
- ALL AREAS TO BE GRADED ARE TO BE CLEARED AND HAVE TOPSOIL REMOVED AND STOCKPILED. FILL AREAS SHOULD BE SCARIFIED TO A DEPTH OF 6" PRIOR TO PLACING FILL MATERIAL.
- ALL UNSATURATED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES INDICATED ON THE EROSION CONTROL PLANS. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH CITY/COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT. GRADES ALONG ACCESSIBLE ROUTES SHALL NOT EXCEED 5%. GRADES ALONG HANDICAP RAMPS SHALL NOT EXCEED 8.33%.
- PRIOR TO PERFORMING ANY LAND DISTURBING ACTIVITIES OR WHEN WORK IS TO BE PERFORMED WITHIN 10 FEET OF HIGH VOLTAGE OVERHEAD POWER LINES, THE CONTRACTOR IS REQUIRED BY LAW TO NOTIFY THE UTILITY PROTECTION CENTER AT 1.800.282.7411. A 72 HOUR ADVANCED NOTICE IS REQUIRED.
- CONCRETE FOR SITE WORK SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE FROM BUILDING FOR ALL NATURAL AND PAVED AREAS.

**NOTES:**

- ALL NEW EXTERIOR LIGHTING WILL MEET THE STANDARDS IN SECTION 9-25-12.
- ALL SITE LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 9-19-4.
- BICYCLE PARKING TO BE IN ACCORDANCE WITH SECTION 9-30-5.
- ALL DIMENSIONS ARE FROM THE FACE-OF-CURB UNLESS OTHERWISE SPECIFIED.
- NO TREES WITH A DBH GREATER THAN 2" ARE LOCATED IN THE R/W.
- EXISTING STRUCTURES TO BE DEMOLISHED AND REMOVED IN ACCORDANCE TO STATE AND COUNTY REGULATIONS.
- STORM WATER MANAGEMENT SHALL BE IN ACCORDANCE WITH COUNTY, STATE AND OTHER APPROPRIATE ORDINANCES AND REGULATIONS IN EFFECT AT TIME OF CONSTRUCTION PLAN APPROVAL.
- A NOTICE OF TIMBER HARVESTING IS REQUIRED PRIOR TO CLEARING AND GRADING.
- ALL DEMOLITION TO COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL LAWS AND REQUIREMENTS.

**CG ZONING REGULATIONS**

MIN. LOT AREA: 2,500 SF  
 MIN. LOT WIDTH: 50'  
 MIN. LOT DEPTH: 50'  
 MIN. FRONT YARD: NONE  
 MAX BUILDING SETBACK: 10'  
 (LOCATED ON A LEVEL II CORRIDOR)  
 MIN. SIDE YARD: NONE  
 MIN. SIDE YARD ADJ. TO STREET: NONE  
 MIN. YARD WHEN ABUTTING RESIDENTIAL ZONE: 10'  
 MAX FAR: 1.5  
 MIN FAR: 0.25 (LOCATED ON A LEVEL II CORRIDOR)  
 MAX. LOT COVERAGE: 80%  
 MIN. LANDSCAPED AREA: 20%  
 MAX BLDG HEIGHT: 65'



**PROJECT DATA:**

**OWNER:**  
 RODNEY L. PATTON  
 130 OLD EPPS BRIDGE ROAD  
 ATHENS, GEORGIA 30606  
 ATTN: RODNEY PATTON  
 (706) 354-0019

**DEVELOPER:**  
 STANMORE DEVELOPMENT  
 1044 NORTH US HIGHWAY ONE, SUITE 202  
 JUPITER, FL 33477  
 ATTN: JOHN MELTON  
 (561) 459-3336

**AUTHORIZED AGENT:**  
 WILLIAMS & ASSOCIATES  
 LAND PLANNERS, P.C.  
 2470 DANIELLS BRIDGE RD.  
 SUITE 161  
 ATHENS, GEORGIA 30606

**PHYSICAL ADDRESS:** 2142 WEST BROAD STREET

**TAX PARCEL:** 122C1 J018

**CONTOUR INTERVAL:** 2' FIELD RUN BY WILLIAMS & ASSOCIATES DATED JULY 8, 2010.

**BOUNDARY SURVEY:** THIS DRAWING WAS PREPARED USING AN ALTA/ACSM LAND TITLE SURVEY FOR: CHICAGO TITLE INSURANCE COMPANY & STANMORE DEVELOPMENT, LLC. DATED JULY 8, 2010, BY WILLIAMS & ASSOCIATES.

**EXISTING ZONING:** C-G

**TOTAL PROJECT ACREAGE:** 4.425 AC

**FLOOD PLAIN:** NO PORTION OF THIS PROPERTY LIES WITHIN THE FLOOD PLAIN ACCORDING TO FIRM COMMUNITY PANEL NUMBER 13059C0024D & 13059C0025D DATED APRIL 2, 2007.

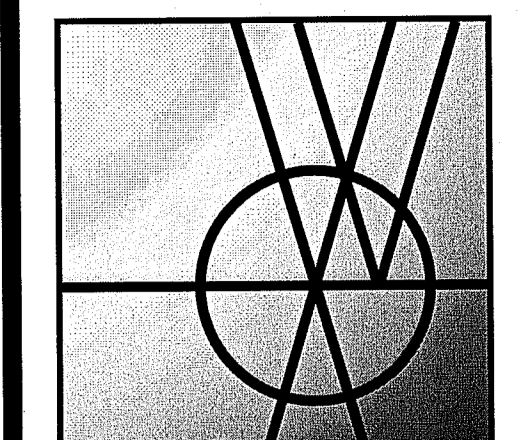
THERE ARE NO STATE WATERS ONSITE OR WITHIN 200' OF THE SITE.

THERE ARE NO WETLANDS DELINEATED ON SITE.

**WATER SUPPLY:** ACC PUBLIC UTILITIES  
**SEWAGE DISPOSAL:** ACC PUBLIC UTILITIES  
**SOLID WASTE:** BY PRIVATE HAULER  
**UTILITIES:** POWER, GAS, WATER, SEWER, TELEPHONE, CABLE TV

**24 HR CONTACT:**  
 STANMORE DEVELOPMENT  
 1044 N. US HWY ONE, SUITE 202  
 JUPITER, FL 33477  
 ATTN: JOHN MELTON  
 (561) 459-3336

**LOT ACCESS NOTE**  
 ACCESS TO PARCEL #122C1 J004 WILL BE COORDINATED BETWEEN JMR PROPERTIES, LLC. AND STANMORE DEVELOPMENT DURING THE CONSTRUCTION PHASE OF THE PROJECT.



**Williams & Associates**

ENGINEERING • SURVEYING  
 LANDSCAPE ARCHITECTURE

2470 Daniels Bridge Road, Suite 161  
 Athens, Georgia 30606  
 P. 706.310.0400  
 F. 706.310.0411

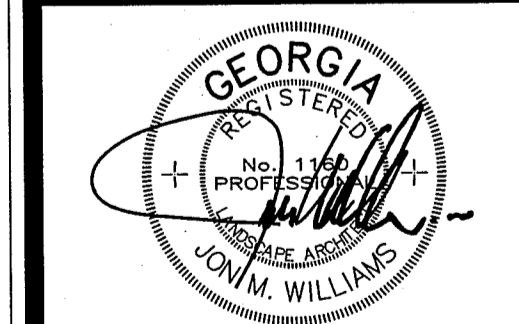
www.gaplaning.com

**ATHENS MEDICAL COMPLEX**  
 ATHENS-CLARKE COUNTY, GEORGIA  
 4.425 ACRES - WEST BROAD STREET

DATE: 03/01/2011

**REVISIONS**

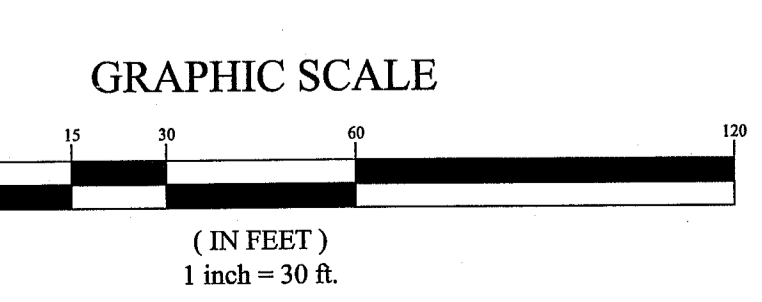
DATE	COMMENT
03/01/11	Per generator pad and enclosure addition and planning comments.
04/29/11	Per field change to bioretention pond.
05/12/11	Per ACCPW comments on field change to bioretention pond.



ALL DRAWINGS SHALL REMAIN THE PROPERTY OF WILLIAMS & ASSOCIATES. THESE INSTRUMENTS OF SERVICE ARE TO BE USED SOLELY FOR THIS SPECIFIC PROJECT. WILLIAMS & ASSOCIATES SHALL RETAIN ALL LEGAL RIGHTS TO THE USE OF THE INSTRUMENTS OF SERVICE AND SHALL RETAIN FULL PROTECTION UNDER UNITED STATES COPYRIGHT LAW.

10047  
**GRADING & DRAINAGE PLAN**

**04.2**



REVIEW SET □ BID SET □ CONSTRUCTION SET