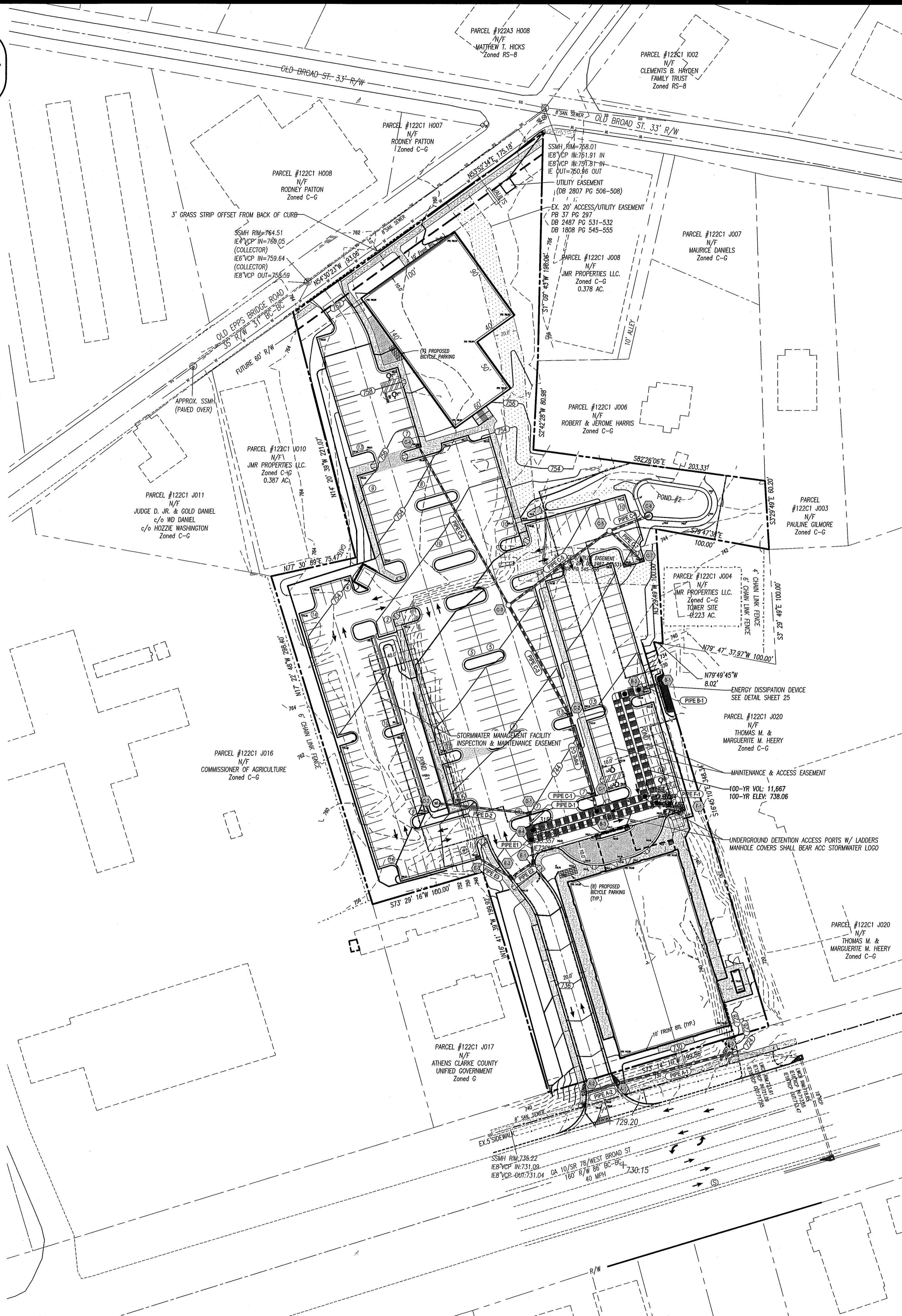


BEFORE YOU DIG UTILITIES PROTECTION CENTER

CALL 811

KNOW WHATS BELOW
CALL BEFORE YOU DIG
THREE WORKING DAYS BEFORE YOU DIG

- LEGEND**
- TBR = TO BE REMOVED
 - TBF = TO BE FILLED
 - ZDL = ZONING DEMARICATION LINE
 - TYP = TYPICAL
 - EX = EXISTING
 - PK = PROPOSED
 - U.E. = UTILITY EASEMENT
 - BSL = BUILDING SETBACK LINE
 - PSL = PARKING SETBACK LINE
 - SM = SANITARY SEWER MANHOLE
 - UP = UTILITY POLE
 - PC = PROPERTY CORNER
 - PCF = PROPERTY CORNER FOUND
 - PRC = PR. PROPERTY CORNER
 - F.F.E. = FINISHED FLOOR ELEVATION
 - F.H. = FIRE HYDRANT
 - I.P.F. = IRON PIN FOUND
 - I.P.S. = IRON PIN SET - 1/2" REBAR
 - C = COMPACT PARKING SPACE
 - O.S.A. = OPEN SOIL SURFACE AREA
 - C/O = CLEAN OUT
 - WM = WATER METER
 - WV = WATER VALVE
 - TP = TELEPHONE POLE
 - PTP = POWER TELEPHONE POLE
 - DI = DROP INLET
 - DB = DEED BOOK
 - PB = PLAT BOOK
 - SSE = SANITARY SEWER EASEMENT
 - SSMH = SANITARY SEWER MANHOLE
 - TPED = UNDERGROUND TELEPHONE
 - PEDESTAL
 - TRANS = TRANSFORMER
 - GI = GRATE INLET
 - CMF = CONCRETE MONUMENT FOUND
 - DE = DRAINAGE EASEMENT
 - DIP = DUCTILE IRON PIPE
 - F.F.E. = FINISHED FLOOR ELEVATION
 - FO = FIBER OPTIC
 - OTP = OPEN TOP PIPE
 - U = UNDERGROUND UTILITY
 - W = OVERHEAD UTILITY



GRADING NOTES:

1. THESE NOTES ARE FOR GRADING, AND DRAINAGE PURPOSES ONLY.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ALL EXISTING UTILITIES (ABOVE OR BELOW GROUND) AS SHOWN ON THESE PLANS ARE APPROXIMATE. WILLIAMS & ASSOCIATES DOES NOT GUARANTEE THAT THE EXISTING UTILITIES LOCATIONS SHOWN ARE EXACT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATIONS OF EXISTING UTILITIES (ABOVE OR BELOW GROUND) BEFORE BEGINNING ANY CONSTRUCTION.
3. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES AND THE UTILITIES PROTECTION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OF ANY UTILITY CONFLICTS WITH THE PROPOSED IMPROVEMENTS AS SHOWN ON PLANS. CONTRACTOR SHALL NOTIFY WILLIAMS & ASSOCIATES WITHIN 24 HOURS OF THE DISCOVERY OF UTILITY CONFLICTS. ANY DAMAGE TO SUCH UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
4. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
5. THE CONTRACTOR SHALL ADHERE TO:
 - A. ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - B. THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
 - C. ALL "GOVERNING AGENCY" ORDINANCES AND DEVELOPMENT REQUIREMENTS AS DEFINED BY GOVERNING AGENCIES RULES AND REGULATIONS.
6. SITE GRADING SHALL NOT PROCEED UNTIL TREE PROTECTION FENCING, EROSION CONTROL AND MONITORING EQUIPMENT HAS BEEN INSTALLED.
7. SITE CLEARING AND GRADING SHALL NOT PROCEED UNTIL 14 DAYS AFTER AN NOI HAS BEEN FILED WITH THE APPROPRIATE NRCS FIELD OFFICE.
8. GRADES SHOWN HEREON ARE FINISHED GRADES. ALL SPOT ELEVATIONS ARE AT FINISHED GRADE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE SUBGRADES.
9. CONTRACTOR SHALL GRADE ALL SLOPES AS SHOWN ON PLANS BUT SHALL NOT EXCEED A MAXIMUM OF 3' HORIZONTAL TO 1' VERTICAL.
10. ALL FILL MATERIAL IN THE PAVED AREAS TO BE COMPACTED TO 98 % OF THE STANDARD PROCTOR DENSITY. ALL FILL MATERIAL IN THE PROPOSED BUILDING AREA AND UNDERNEATH ALL FOOTINGS IS TO BE COMPACTED TO 100% STANDARD PROCTOR DENSITY. UNDERROUTING IS REQUIRED IN ALL AREAS WHERE MATERIALS ARE DETERMINED TO BE UNSUITABLE FOR STRUCTURAL BACKFILL MATERIAL.
11. ALL DISCREPANCIES IN THE EXISTING OR PROPOSED GRADING PLAN SHOULD BE REPORTED TO WILLIAMS & ASSOCIATES IMMEDIATELY.
12. TREES, STUMPS, ROOTS, DEBRIS, JUNK AND OTHERWISE DELETERIOUS MATERIAL MAY NOT BE BURIED OR DISPOSED OF ON SITE.
13. ALL AREAS TO BE GRADED ARE TO BE CLEARED AND HAVE TOPSOIL REMOVED AND STOCKPILED. FILL AREAS SHOULD BE SCARIFIED TO A DEPTH OF 6" PRIOR TO PLACING FILL MATERIAL.
14. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES INDICATED ON THE EROSION CONTROL PLANS. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH CITY/COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
15. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT. GRADES ALONG ACCESSIBLE ROUTES SHALL NOT EXCEED 5 %, GRADES ALONG HANDICAP RAMPS SHALL NOT EXCEED 8.33%.
16. PRIOR TO PERFORMING ANY LAND DISTURBING ACTIVITIES OR WHEN WORK IS TO BE PERFORMED WITHIN 10 FEET OF HIGH VOLTAGE OVERHEAD POWER LINES, THE CONTRACTOR IS REQUIRED BY LAW TO NOTIFY THE UTILITY PROTECTION CENTER AT 1.800.282.7411. A 72 HOUR ADVANCED NOTICE IS REQUIRED.
17. CONCRETE FOR SITE WORK SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
18. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE FROM BUILDING FOR ALL NATURAL AND PAVED AREAS.

MISCELLANEOUS NOTES

ALL STORMWATER STRUCTURES REQUIRING MANHOLE ACCESS SHALL BE PROVIDED WITH ACC STORMWATER MANHOLE COVERS PER DETAIL ON SHEET 17.

DETENTION FACILITIES AND EROSION & SEDIMENT CONTROL MEASURES SHALL BE ESTABLISHED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITIES ON SITE. ALL EROSION & SEDIMENT CONTROL FACILITIES SHALL BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

AN AS-BUILT SURVEY OF THE COMPLETE STORM SEWER AND STORMWATER MANAGEMENT SYSTEM, DEMONSTRATING IT WAS BUILT AND WILL FUNCTION ACCORDING TO DESIGN, AND CERTIFIED BY A PROFESSIONAL ENGINEER OR LAND SURVEYOR, IS REQUIRED PRIOR TO THE RELEASE OF ANY CERTIFICATE OF OCCUPANCY.

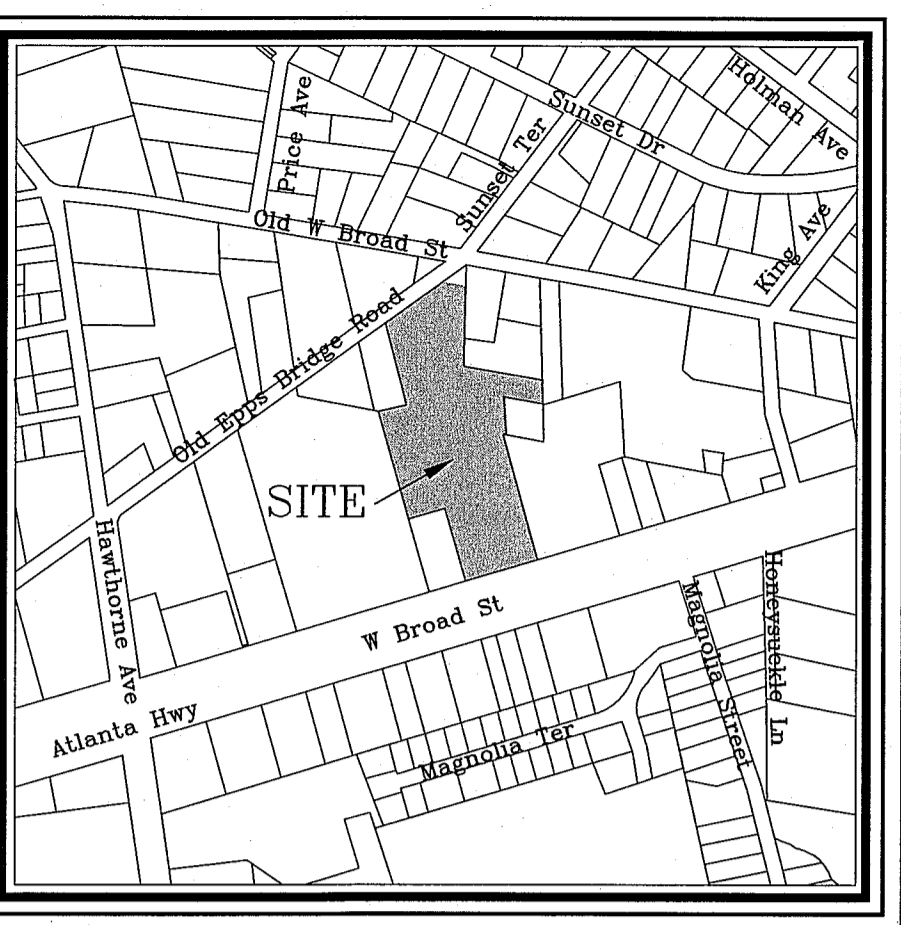
BIORETENTION FACILITY CONSTRUCTION MAY NOT BEGIN UNTIL THE CONTRIBUTING DRAINAGE AREA IS COMPLETELY STABILIZED.

BIORETENTION FACILITY PLANTING SOIL MUST BE PLACED IN CONFORMANCE WITH THESE PLANS. ITS COMPOSITION, SURFACE AREA, DEPTH, AND INFILTRATION RATE MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT PRIOR TO APPROVAL OF A FINAL PLAT OR CERTIFICATE OF OCCUPANCY.

THE PUBLIC WORKS INSPECTOR MUST BE NOTIFIED 24 HOURS IN ADVANCE OF BIORETENTION OR ENHANCED SWALE UNDERDRAIN CONSTRUCTION OR SOIL MEDIA PLACEMENT.

CG ZONING REGULATIONS

MIN. LOT AREA: 50' x 60' (MIN. LOT AREA: 3000 SQ FT)
 MIN. LOT WIDTH: 25'
 MIN. LOT DEPTH: 50'
 MIN. FRONT YARD: NONE
 MAX BUILDING SETBACK: 10'
 (LOCATED ON A LEVEL II CORRIDOR)
 MIN. SIDE YARD: NONE
 MIN. SIDE YARD ADJ. TO STREET: NONE
 MIN. YARD WHEN ABUTTING RESIDENTIAL ZONE: 10'
 MAX FAR: 1.5
 MIN FAR: 0.25 (LOCATED ON A LEVEL II CORRIDOR)
 MAX. LOT COVERAGE: 80%
 MIN. LANDSCAPED AREA: 20%
 MAX BLDG HEIGHT: 65'



VICINITY MAP
SCALE: 1" = 500'

PROJECT DATA:

OWNER: RODNEY L. PATTON
130 OLD EPPS BRIDGE ROAD
ATHENS, GEORGIA 30606
ATTN: RODNEY PATTON
(706) 354-0019

DEVELOPER: STANMORE DEVELOPMENT
1044 NORTH US HIGHWAY ONE, SUITE 202
JUPITER, FL 33477
ATTN: JOHN MELTON
(561) 459-3336

AUTHORIZED AGENT: WILLIAMS & ASSOCIATES
LAND PLANNERS, P.C.
2470 DANIELS BRIDGE RD.
SUITE 161
ATHENS, GEORGIA 30606

PHYSICAL ADDRESS: 2142 WEST BROAD STREET

TAX PARCEL: 122C1 J018

CONTOUR INTERVAL: 2' FIELD RUN BY WILLIAMS & ASSOCIATES DATED JULY 8, 2010.

BOUNDARY SURVEY: THIS DRAWING WAS PREPARED USING AN ALTA/ACSM LAND TITLE SURVEY FOR: CHICAGO TITLE INSURANCE COMPANY & STANMORE DEVELOPMENT, LLC. DATED JULY 8, 2010, BY WILLIAMS & ASSOCIATES.

EXISTING ZONING: C-G

TOTAL PROJECT ACREAGE: 4.425 AC

FLOOD PLAIN: NO PORTION OF THIS PROPERTY LIES WITHIN THE FLOOD PLAIN ACCORDING TO FIRM COMMUNITY PANEL NUMBER 1305900024D & 1305900025D DATED APRIL 2, 2007.

THERE ARE NO STATE WATERS ONSITE OR WITHIN 200' OF THE SITE.

THERE ARE NO WETLANDS DELINEATED ON SITE.

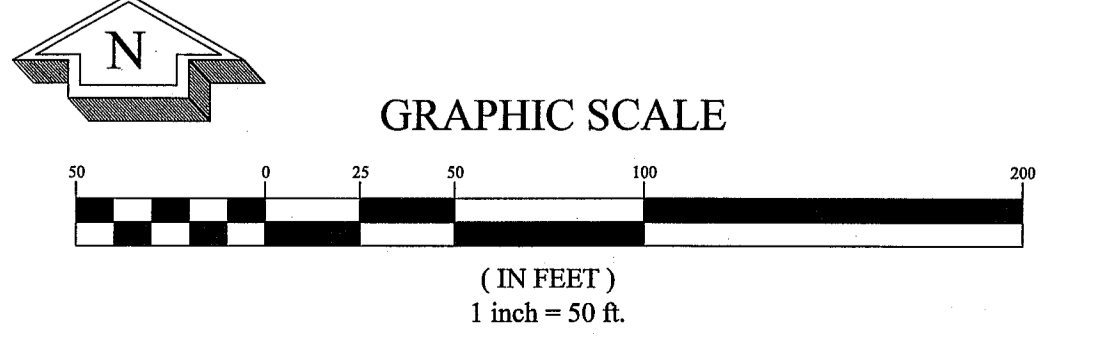
WATER SUPPLY: ACC PUBLIC UTILITIES
SEWAGE DISPOSAL: ACC PUBLIC UTILITIES
SOLID WASTE: BY PRIVATE HAULER
UTILITIES: POWER, GAS, WATER, SEWER, TELEPHONE, CABLE TV

24 HR CONTACT:
STANMORE DEVELOPMENT
 1044 N. US HWY ONE, SUITE 202
 JUPITER, FL 33477
 ATTN: JOHN MELTON
 (561) 459-3336

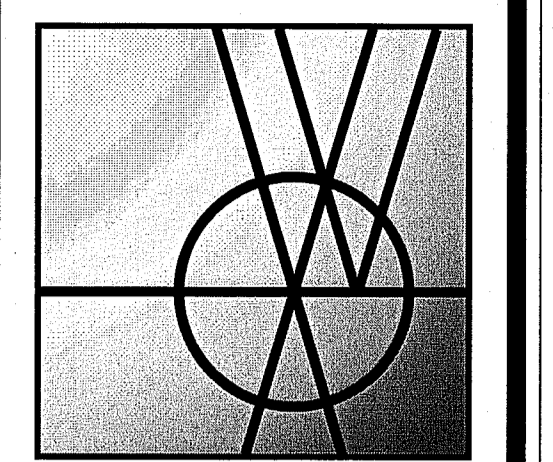
BENCHMARK
 BENCHMARK IS TOP OF EXISTING IRON PIN FOUND AT THE NORTH EAST PROPERTY CORNER. TOP ELEVATION = 757.84

- NOTES:**
1. ALL NEW EXTERIOR LIGHTING WILL MEET THE STANDARDS IN SECTION 9-25-12.
 2. ALL SITE LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 9-19-4.
 3. BICYCLE PARKING TO BE IN ACCORDANCE WITH SECTION 9-30-5.
 4. ALL DIMENSIONS ARE FROM THE FACE-OF-CURB UNLESS OTHERWISE SPECIFIED.
 5. NO TREES WITH A DBH GREATER THAN 2" ARE LOCATED IN THE R/W.
 6. EXISTING STRUCTURES TO BE DEMOLISHED AND REMOVED IN ACCORDANCE TO STATE AND COUNTY REGULATIONS.
 7. STORM WATER MANAGEMENT SHALL BE IN ACCORDANCE WITH COUNTY, STATE AND OTHER APPROPRIATE ORDINANCES AND REGULATIONS IN EFFECT AT TIME OF CONSTRUCTION PLAN APPROVAL.
 8. A NOTICE OF TIMBER HARVESTING IS REQUIRED PRIOR TO CLEARING AND GRADING.
 9. ALL DEMOLITION TO COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL LAWS AND REQUIREMENTS.

LOT ACCESS NOTE
 ACCESS TO PARCEL #122C1 J004 WILL BE COORDINATED DURING JMR PROPERTIES, LLC. AND STANMORE DEVELOPMENT DURING THE CONSTRUCTION PHASE OF THE PROJECT.



REVIEW SET BID SET CONSTRUCTION SET



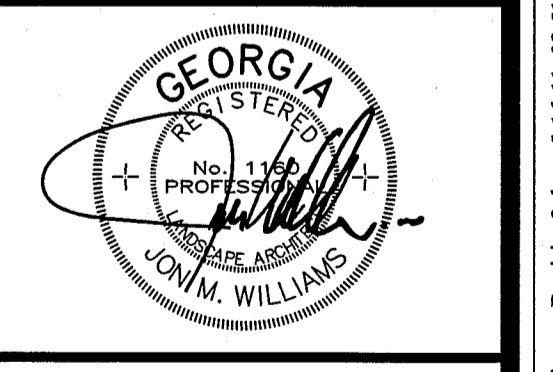
Williams & Associates
 ENGINEERING • SURVEYING
 LANDSCAPE ARCHITECTURE
 2470 Daniels Bridge Road, Suite 161
 Athens, Georgia 30606
 P. 706.310.0400
 F. 706.310.0411

www.gaplanning.com

ATHENS MEDICAL COMPLEX
 ATHENS-CLARKE COUNTY, GEORGIA
 4.425 ACRES - WEST BROAD STREET

DATE: 03/01/2011
REVISIONS

| DATE | COMMENT |
|----------|---|
| 03/01/11 | Per generator pad and enclosure addition and planning comments. |
| 04/29/11 | Per field change to bioretention pond. |
| 05/12/11 | Per ACCPW comments on field change to bioretention pond. |



ALL DRAWINGS SHALL REMAIN THE PROPERTY OF WILLIAMS & ASSOCIATES. THESE INSTRUMENTS OF SERVICE ARE TO BE USED SOLELY FOR THIS SPECIFIC PROJECT. WILLIAMS & ASSOCIATES SHALL RETAIN ALL LEGAL RIGHTS TO THE USE OF THE INSTRUMENTS OF SERVICE AND SHALL RETAIN FULL PROTECTION UNDER UNITED STATES COPYRIGHT LAW.

10047
GRADING & DRAINAGE PLAN

04